

STAGE 18

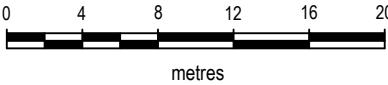


SEE SHEET 2



IMPORTANT NOTES:-

- These notes are an Integral part of this plan.
- This plan has been prepared for Easterly Projects Pty Ltd for the purposes of A Disclosure Plan Under the Land Sales Act 1984.
- It is not to be used by any other person or corporation or for any other purposes and is subject to the following limitations:
- The Lot dimensions and area shown hereon are subject to final field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation.
- Design contours, fill areas, sewerage, storm water drainage, roads and water reticulation are derived from the engineering design drawings by Jacobs Group (Australia) Pty Ltd and may differ from the as-constructed location.
- Builders must not build off the design information shown on this plan. A site survey is required.
- Compaction of earthworks shall be in accordance with the FNQROC Development Manual, Design Manual D2.08 / AS 3798.
- The Proposed Lot is currently described as Lot 1400 on SP310234, situated off Halifax Drive, Redlynch.
- Building location envelopes and setbacks are yet to be approved.



SCALE 1:400 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE. (A3)

PROJECT MANAGER		SURVEYED	
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COMPILED		CAD REF	
KJB 15/02/21		5159-267.DWG	
SHEET SIZE		SHEET OF SHEETS	
A3		1 2	

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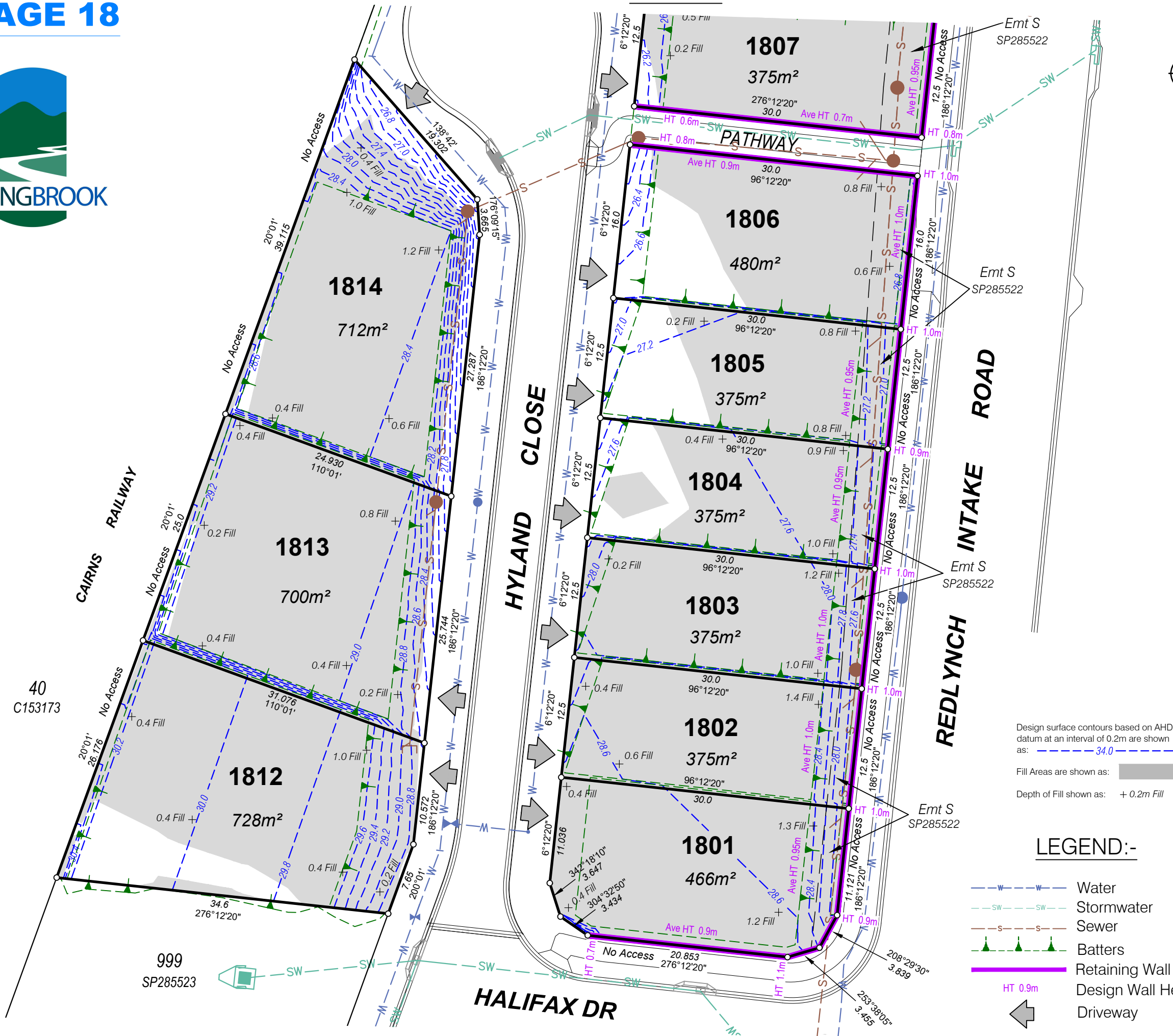
DISCLOSURE PLAN

Proposed Lots 1801-1814

Sheet 1 of 2

Springbrook, Redlynch

SCALE	DATE	DRAWING NO.	ISSUE
1:400	15/02/2021	5159-267	



Design surface contours based on AHD datum at an interval of 0.2m are shown as: - - - 34.0 - - -

Fill Areas are shown as: [shaded area]

Depth of Fill shown as: + 0.2m Fill

LEGEND:-

- Water
- Stormwater
- Sewer
- Batters
- Retaining Wall
- Design Wall Heights
- Driveway

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0 4 8 12 16 20  
metres

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COMPILED KJB 15/02/21		CAD REF 5159-267.DWG	
SHEET SIZE <b>A3</b>	SHEET 2 OF SHEETS 2		

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DISCLOSURE PLAN

Proposed Lots 1801-1814  
Sheet 2 of 2  
Springbrook, Redlynch

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